

DRIVE APPROACH PERMIT REQUIREMENTS

CITY OF PLANO BUILDING INSPECTION DEPARTMENT

CONSTRUCTION DOCUMENT SUBMITTALS: A completed application form and two (2) copies of the site plans are required for review.

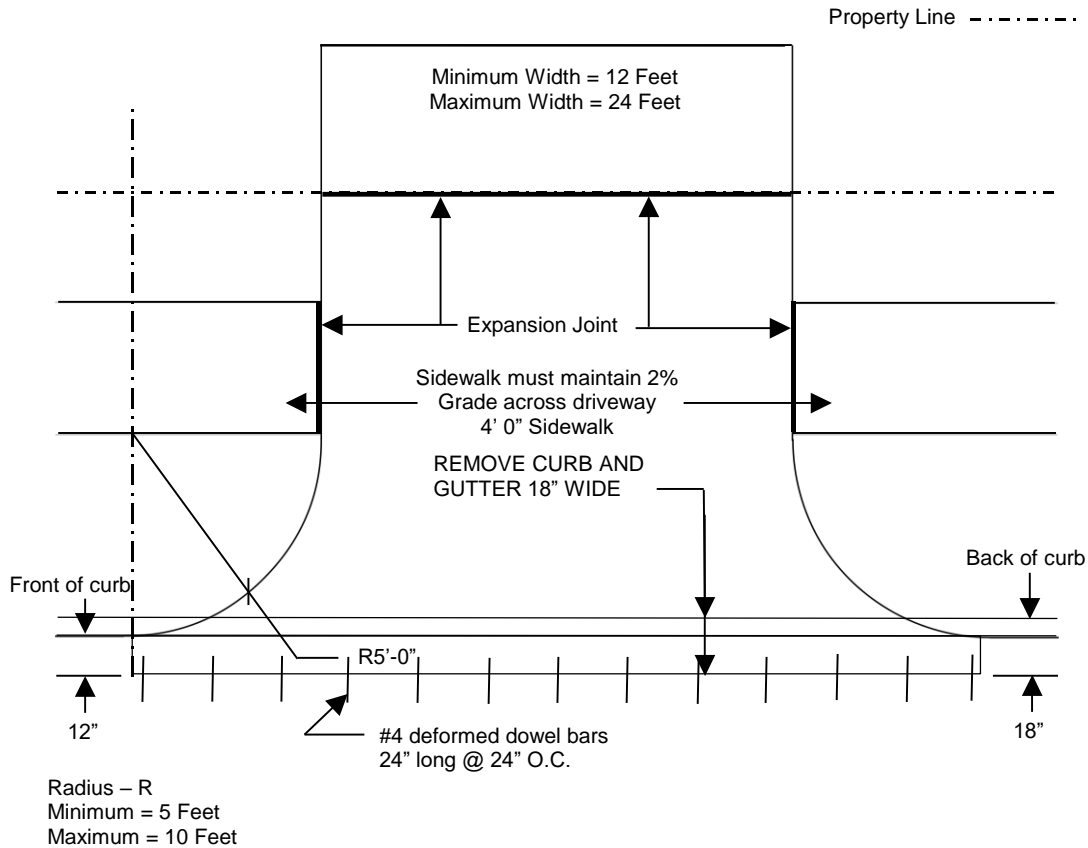
FEE: Refer to the fee schedule for applicable fees

NOTE:

1. Drawings must be drawn to scale, dimensioned and of sufficient clarity.
2. In all districts developed for single-family or two family uses, pavement in the front yard may not exceed 55% of the area between property line and the building face (Section 3-1110, subsection 6).
3. Permit holder is responsible for requesting and completing all required inspections.
4. Please contact Homeowner's Association for additional requirements from Deed Restrictions and Covenants.
5. A "**PREPOUR DRIVEWAY INSPECTION and FINAL BUILDING INSPECTION**" is required.

DIAGRAM – STREET APPROACH
DIAGRAM – ALLEY APPROACH

STREET - DRIVEWAY APPROACH



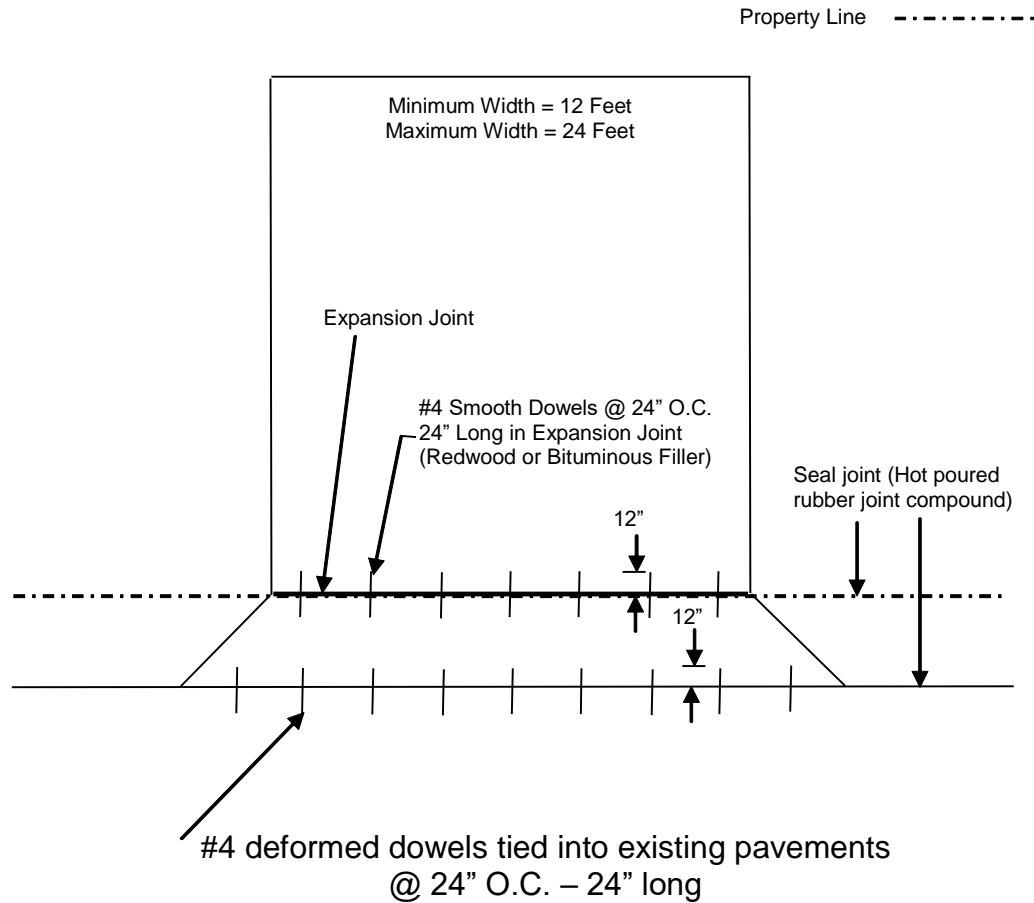
Street

Do not cut beyond property line projection

Sawcut all the way through and drill into street using #4 deformed dowel bars at 24" O.C. - 24" long; sawcut in the street shall be made 18" from back of curb

- Approach to be minimum 6" thick, 3000 PSI concrete and install with #3 steel (3/8") at 24" O.C. each way on chairs
- Tie driveway to approach with #4 deformed dowel bars at 24" O.C. – 24" long.
- If over excavated, refill only with approved sand or gravel.
- Approach cannot rest on loose dirt; the subgrade under the new pavement shall be compacted to 95% compaction.
- All dowels smooth bars must be lubricated

RESIDENTIAL ALLEY DRIVEWAY APPROACH



- Approach to be min. 6" thick, 3000 PSI Concrete with #3 Steel (3/8") at 24" O.C. each way on chairs
- If over excavated, backfill only with approved sand or gravel. Approach cannot rest on loose dirt; the subgrade under the new pavement shall be compacted to 95% compaction
- All smooth dowels must be lubricated
- Alley Approach – Drill into alley 12" deep at 24" O.C. and install 24" long #4 deformed dowels. Install expansion joint at property line
- The 5'0" radius is not applicable to alley approaches
- Water Meters are not allowed in Driveway

This handout is for informational purposes only and should not be relied on in place of official regulations and/or policies. The CITY OF PLANO makes no representations, guarantees, or warranties as to the accuracy, completeness, currency, or suitability of the information provided via the handout. Customers and citizens are personally responsible for complying with all local, state and federal laws pertaining to projects within the city. Copies of the CITY OF PLANO adopted codes and Zoning Ordinances can be found on the city website at www.plano.gov or at the CITY OF PLANO Municipal Center at 1520 K Avenue, Plano, Texas.